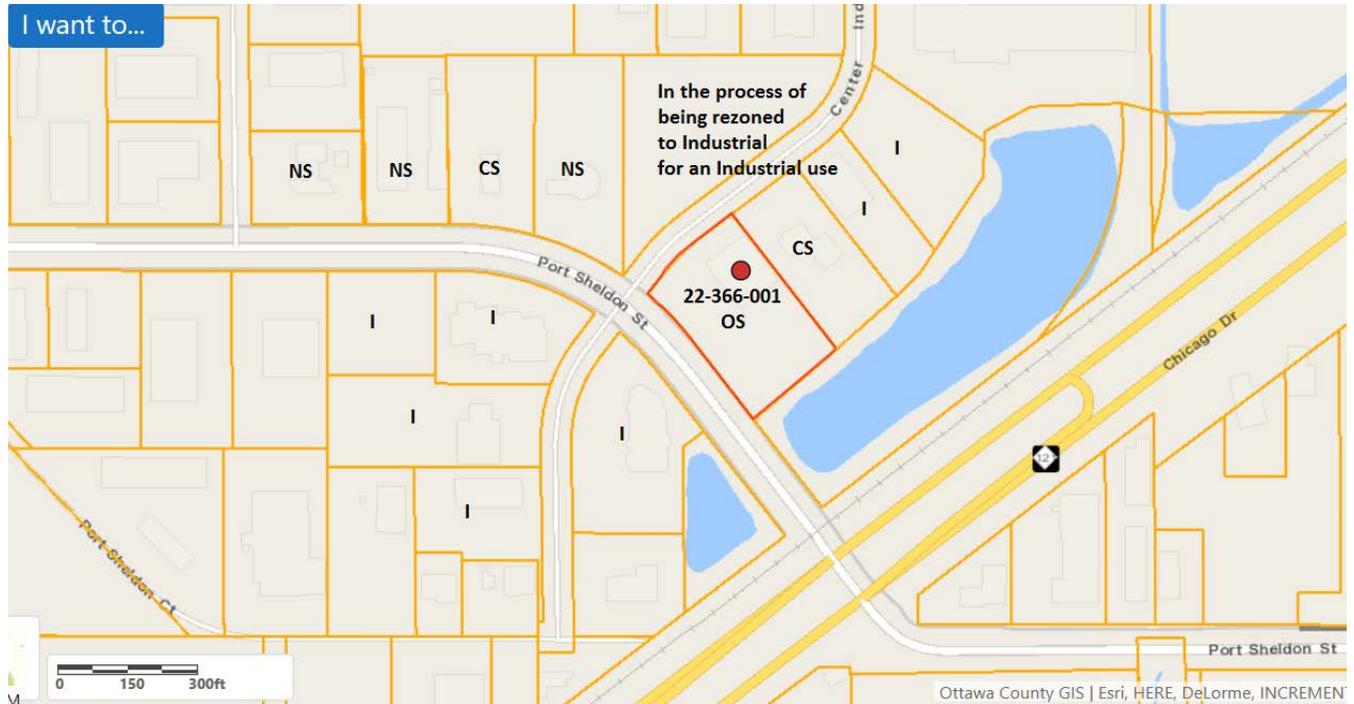


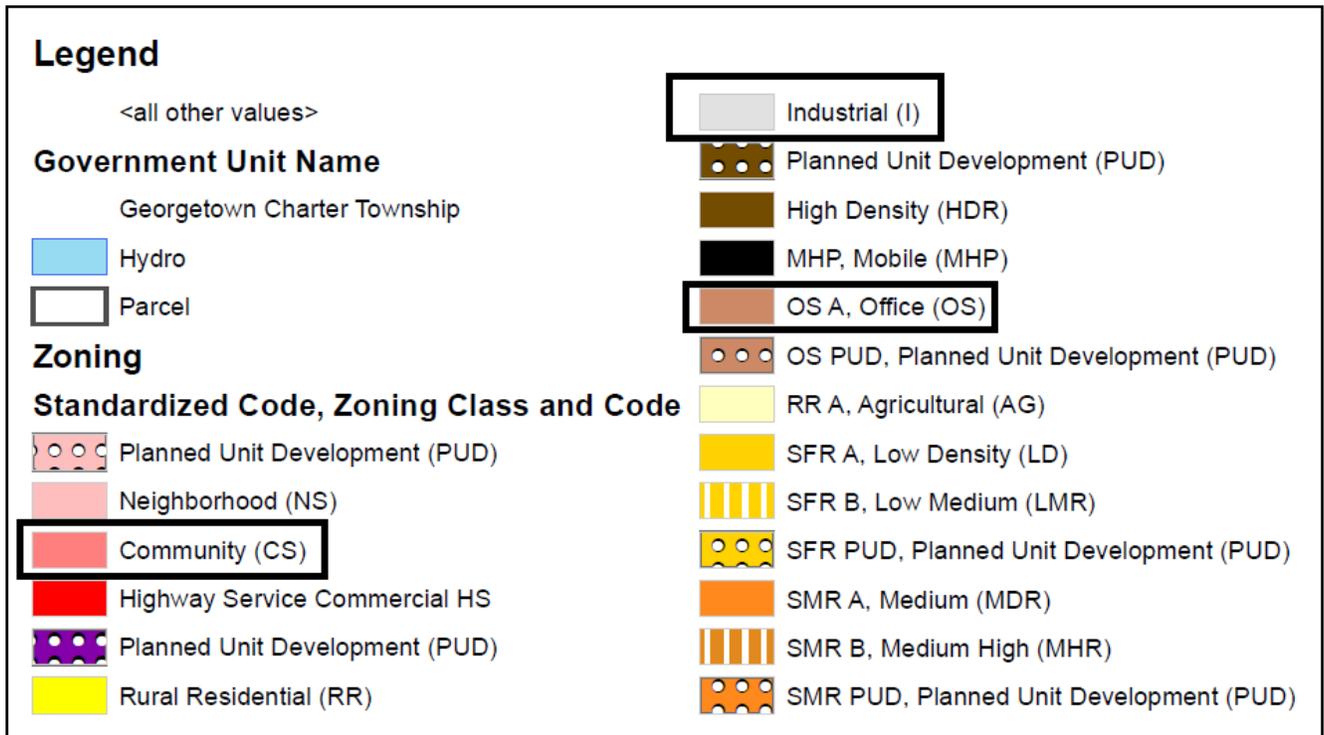
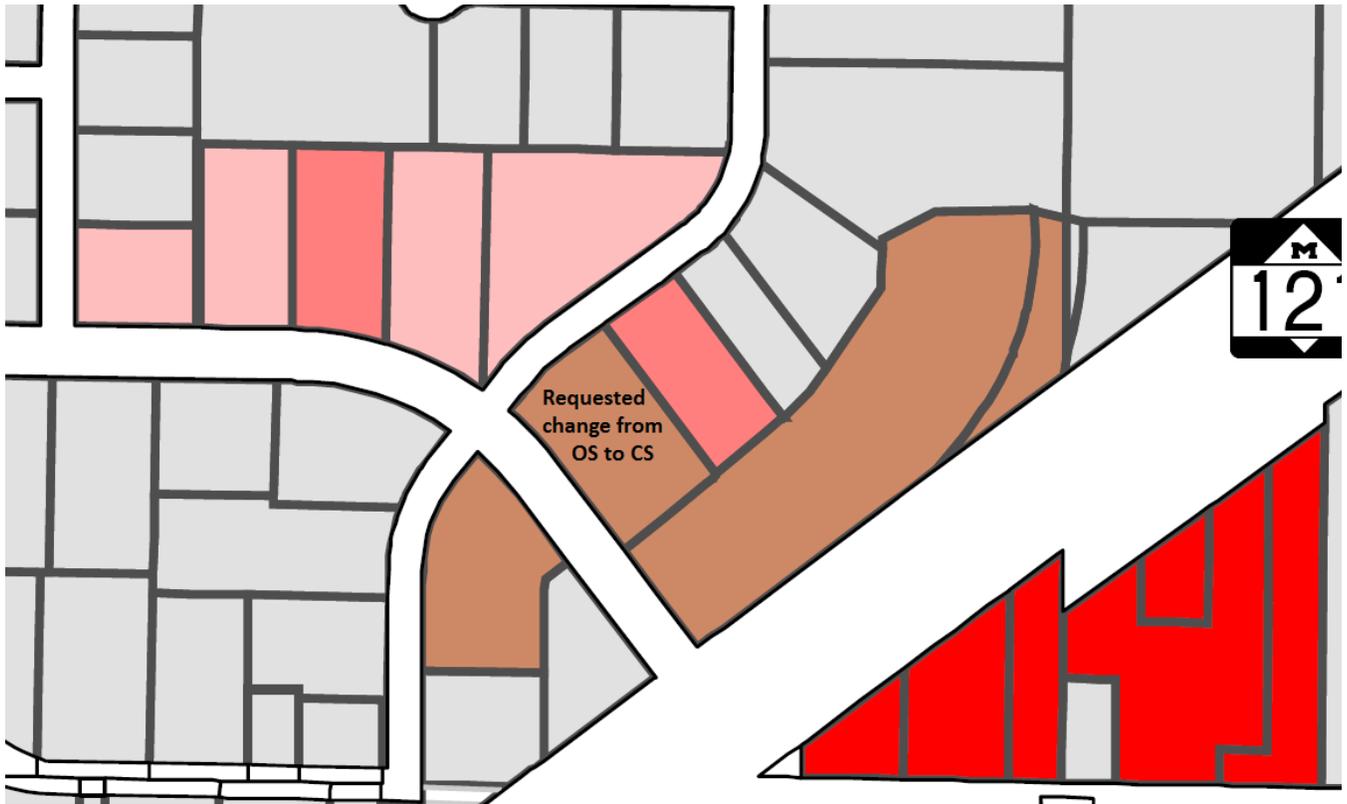
REQUEST

(REZ1602) Ordinance 2016-05 To change from (OS) Office Service Commercial to (CS) Community Service Commercial a parcel of land described as P.P. # 70-14-22-366-001, located at 2141 Port Sheldon, Georgetown Township, Ottawa County, Michigan.

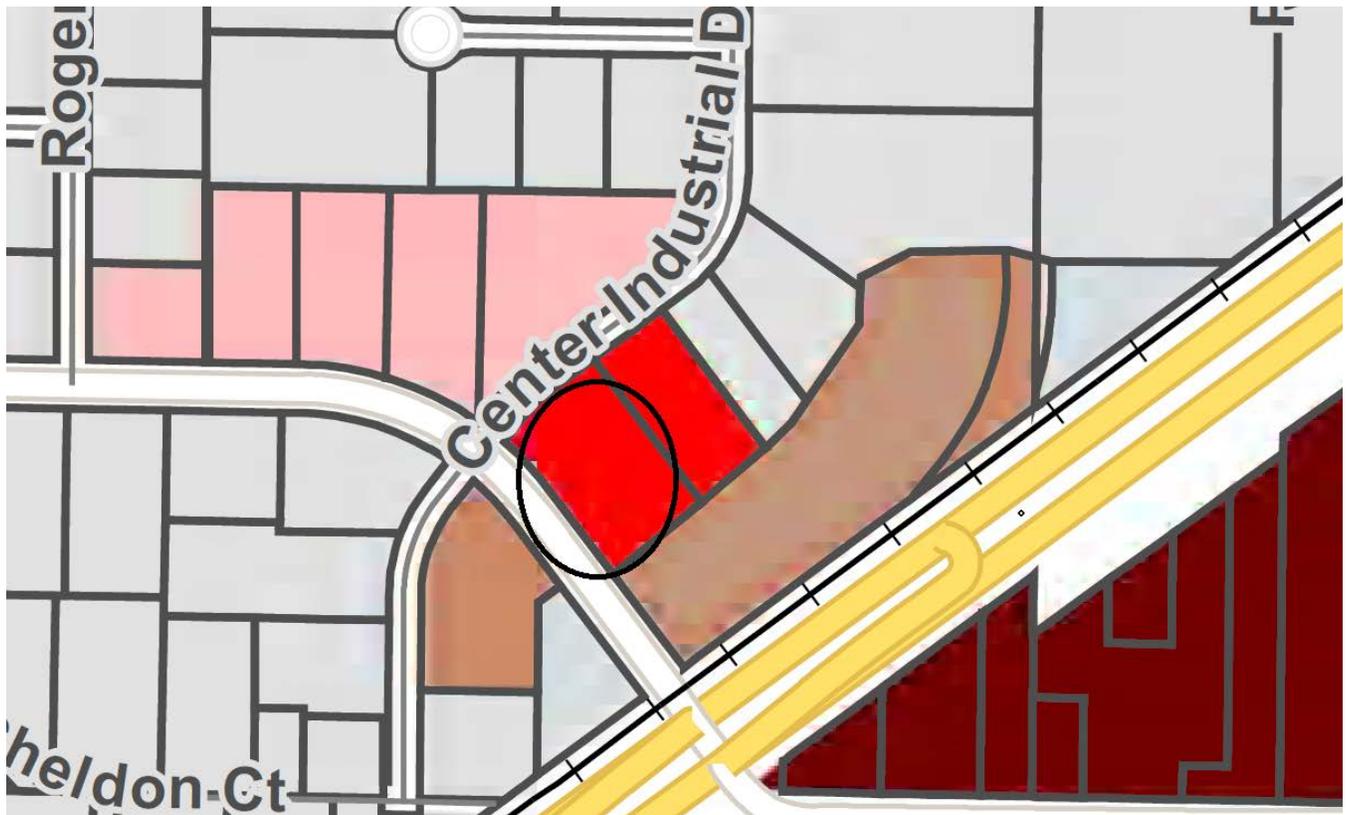
The reason for the request to rezone the 2 acre parcel from OS to CS is because the applicant would like to have uses allowed in the CS district.



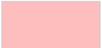
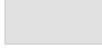
Zoning map and legend.



Future Land Use Map and legend.



Legend

 Water Bodies	 LDR, Low Density Residential
 Parcel	 MDR, Medium Density Residential
Future Land Use	 NC, Neighborhood Commercial
Code, Land Use Value	 OS, Office Service
 Ag, Agriculture	 PSP, Public Semi Public
 CC, Community Commercial	 PUD Com, PUD Commercial
 HC, Highway Commercial	 PUD Mix, PUD Mix Use
 HDR, High Density Residential	 PUD Res, PUD Residential
 I, Industrial	 REC, Recrational Open Space

REVIEW STANDARDS

Rezoning goes with the land, not the property owner or use. Therefore, once a parcel is zoned to a particular classification, the zoning is permanent unless changed by a subsequent rezoning action. Zoning cannot be conditional and a parcel cannot be rezoned for one specific use. Any use permitted within the zoning district is permitted on the property, provided the other applicable regulations of the Zoning Ordinance (lot sizes, setbacks, etc.) are met.

The following standards are used for consideration by the Planning Commission and Township Board in their review of the rezoning request.

Consistency: Is the proposed zoning and all of its permitted uses consistent with the recommendations of the Township Land Use Plan?

Yes. The request is consistent with the Future Land Use Map and with the text of the Master Plan. The Future Land Use Map designates the parcel as CS. See the map above.

Compatibility: Is the proposed district and all of its allowed uses compatible with the surrounding area?

Yes. The parcel to the east is already zoned CS. Other surrounding property is zoned NS, CS and Industrial.

Below is an excerpt of the Zoning Ordinance detailing uses allowed in the CS district.

Chapter 15 – CS – COMMUNITY SERVICE COMMERCIAL.

Sec 15.1 PURPOSE.

This District is intended to provide for the construction or continued use of land for general community-wide commercial and service uses and to provide for orderly development and concentration of such uses to satisfy the needs of the overall community. This District is meant to discourage strip or linear commercial development.

Sec. 15.2 PERMITTED USES. (section updated 3/28/16)

Land and/or buildings in this District may be used for the following purposes by right:

- (A) Any permitted use in the NS District.
- (B) Service establishments including printing, publishing, photo reproduction, blue-printing, and related trades or arts.
- (C) Vehicle service stations and wash establishments.
- (D) Commercial recreation facilities such as indoor theaters, bowling alleys, indoor skating rinks, billiard parlors or similar uses.
- (E) Building supply and equipment establishments.
- (F) Commercial Enterprises producing merchandise on the premises to be sold at retail and/or wholesale with no outdoor activities or storage.
- (G) Warehouses selling wholesale or retail on the premises, PROVIDED, there is no outside storage or stockpiling and the property does not lie within one hundred (100) feet of any Residential District.
- (H) Drive-through restaurant.

Sec. 15.3 USES REQUIRING SPECIAL LAND USE APPROVAL. (section updated 3/28/16)

The following uses may be permitted by obtaining Special Land Use Approval when all applicable standards as cited in Chapter XX are met.

- (A) Open air businesses.
- (B) Veterinary/animal hospitals, clinics, and kennels.
- (C) Amusement Parks.
- (D) Commercial soil removal.
- (E) Day Care Centers.
- (F) Commercial radio and television and wireless communication towers. (Revised November 1997)
- (G) Vehicle repair establishments when all activities are conducted within a wholly enclosed building.
- (H) Adult Foster Care Congregate Facility.
- (I) Greenhouses and plant nurseries selling retail. (added from 16.3 with SUP)
- (J) Par 3 golf course, miniature golf, driving ranges and similar outdoor recreation uses.

Capability: Is the property capable of being used for a use permitted within the existing zoning district?

Yes. The property is capable of being used for permitted uses within the OS, NS and CS districts.

Other considerations: Will the rezoning require an inordinate expenditure of public funds (road improvements, utility extension, etc.) to make the development feasible?

No. No improvements will be necessary. Public water and public sewer are available.

Will the rezoning cause development to “leap frog” other undeveloped areas in the same zoning district and necessitate premature extensions of services to rural areas of the Township?

No. The adjacent property is zoned CS and immediate area has CS, NS and Industrial zoned property.

Is there sufficient vacant land already zoned in a specific category (e.g., industrial, multi-family, commercial)?

Not necessarily because the developer has indicated a need for the CS zoning.

Is the rezoning more likely to be granted if conditions could be attached (note: rezonings cannot be conditional)?

No.

SUMMARY

The proposed zoning designation is **consistent** with the Master plan and the Future Land Use Map for the area. The area is **capable** of sustaining the uses within the CS district without addition public funds. The uses allowed within the CS district are **compatible** with the neighboring uses.

OPTION FOR MOTION

If the Planning Commission determines that the property should be rezoned to CS, the following motion could be made or if the determination is that the CS zoning designation is not warranted, the request could be recommended for denial. Or if more information is needed, the item could be tabled.

Motion: To adopt the staff report as finding of facts and to recommend to the Township Board to approve the following resolution because the proposed zoning designation is **consistent** with the Master plan and the Future Land Use Map for the area; the area is **capable** of sustaining the uses within the CS district without addition public funds; the uses allowed within the CS district are **compatible** with the neighboring uses:

**Georgetown Charter Township
Ottawa County, Michigan
(Ordinance No. 2016-05)**

At a regular meeting of the Georgetown Charter Township Board held at the Township offices on _____, 2016, beginning at 7:30 p.m., Township Board Member _____ made a motion to adopt this Ordinance, which motion was seconded by Township Board Member _____:

**AN AMENDMENT TO THE GEORGETOWN CHARTER TOWNSHIP
ZONING ORDINANCE, AS AMENDED, AND MAP**

THE CHARTER TOWNSHIP OF GEORGETOWN (the "Township") ORDAINS:

ARTICLE 1. The map of the Georgetown Charter Township Zoning Ordinance, as amended, is hereby amended to read as follows:

(REZ1602) Ordinance 2016-05 To change from (OS) Office Service Commercial to (CS) Community Service Commercial a parcel of land described as P.P. # 70-14-22-366-001, located at 2141 Port Sheldon, Georgetown Township, Ottawa County, Michigan.

Except as expressly modified by the above, the balance of the Zoning Map of the Georgetown Charter Township Zoning Ordinance, as amended, shall remain unchanged and in full force and effect.

ARTICLE 2. Severability. In the event that any one or more sections, provisions, phrases, or words of this Ordinance shall be found to be invalid by a court of competent jurisdiction, such holding

shall not affect the validity or the enforceability of the remaining sections, provisions, phrases, or other words of this Ordinance.

ARTICLE 3. Except as specified above, the balance of the Georgetown Charter Township Zoning Ordinance, as amended, and map shall remain unchanged and in full force and effect.

ARTICLE 4. Effective Date. The provisions of this Ordinance shall take effect upon the expiration of seven (7) days from the date of publication of this Ordinance or a summary of its provisions in accordance with the law.

The vote in favor of adopting this Ordinance was as follows:

Yeas:

Nays:

Absent:

MOTION CARRIED UNANIMOUSLY AND ORDINANCE DECLARED ADOPTED.

CERTIFICATION

I hereby certify that the above is a true copy of an Ordinance adopted by Georgetown Charter Township Board at the time, date, and place specified above pursuant to the required statutory procedures.

Respectfully submitted,

Dated: _____, 2016

By _____
Richard VanderKlok
Georgetown Charter Township Clerk