

TITLE INFORMATION

The Title Description and Schedule B items hereon are from Metropolitan Title Commitment No. CM32682, dated July 9, 2003.

LEGAL DESCRIPTION

The land referred to in this Policy, situated in the County of Ottawa, Township of Georgetown, State of Michigan, is described as follows:

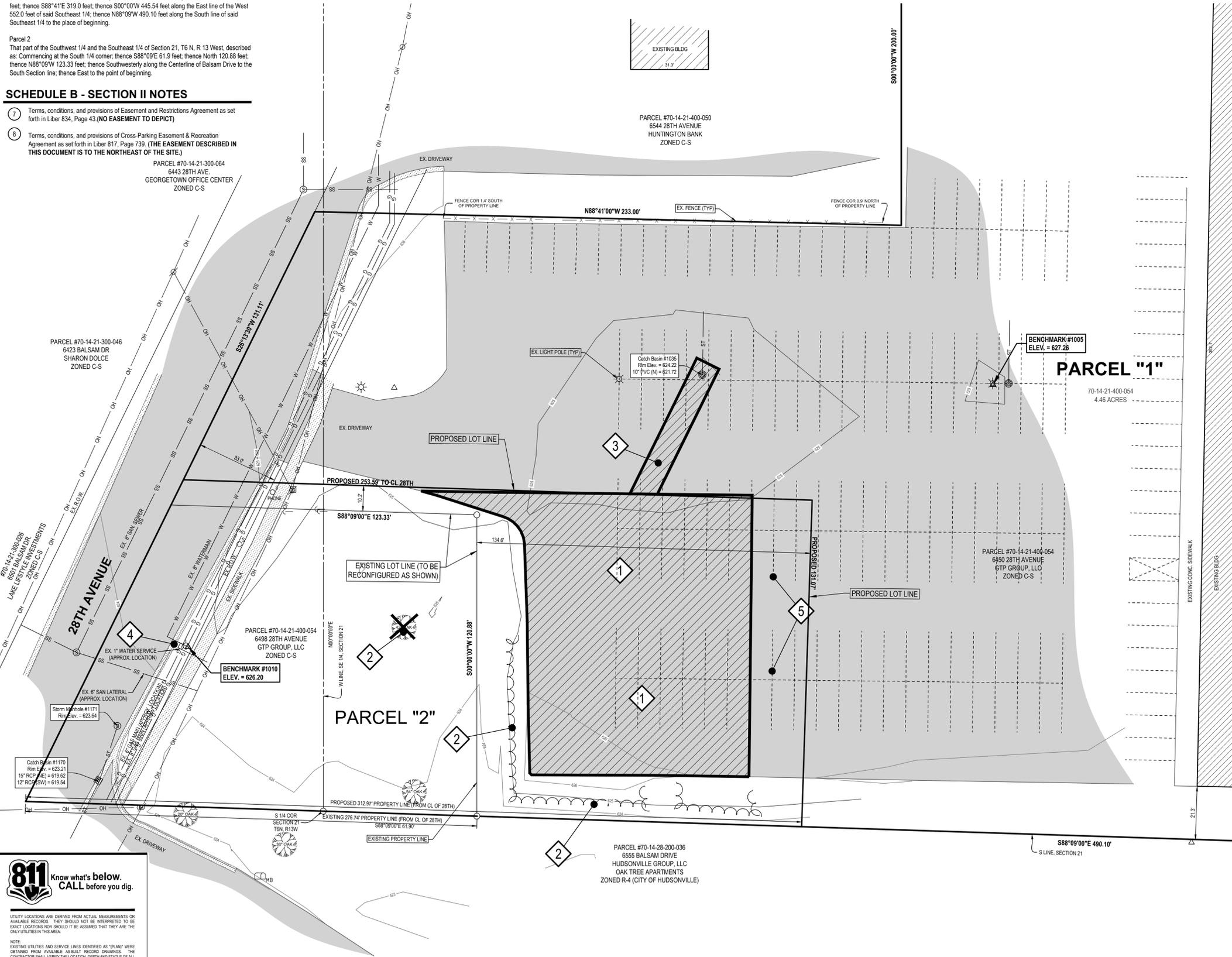
Parcel 1
That part of the Southeast 1/4 and Southwest 1/4, Section 21, T6N, R13W, Georgetown Township, Ottawa County, Michigan, described as: Commencing at the Southwest corner of said Southeast 1/4; thence S88°09'E 61.90 feet along the South line of said Southeast 1/4 to the place of beginning; thence N00°00'E 120.88 feet parallel with the West line of said Southeast 1/4; thence N88°09'W 123.33 feet; thence N26°13'30"E 131.11 feet; thence S88°41'E 3.46 feet to a point on the West line of said Southeast 1/4 which is N00°00'E 240.4 feet from the Southwest corner of said Southeast 1/4; thence S88°41'E 233.0 feet; thence N00°00'E 200.0 feet; thence S88°41'E 319.0 feet; thence S00°00'W 445.54 feet along the East line of the West 552.0 feet of said Southeast 1/4; thence N88°09'W 490.10 feet along the South line of said Southeast 1/4 to the place of beginning.

Parcel 2
That part of the Southwest 1/4 and the Southeast 1/4 of Section 21, T6 N, R 13 West, described as: Commencing at the South 1/4 corner; thence S88°09'E 61.9 feet; thence North 120.88 feet; thence N88°09'W 123.33 feet; thence Southwesterly along the Centerline of Balsam Drive to the South Section line; thence East to the point of beginning.

SCHEDULE B - SECTION II NOTES

- Terms, conditions, and provisions of Easement and Restrictions Agreement as set forth in Liber 834, Page 43. (NO EASEMENT TO DEPICT)
- Terms, conditions, and provisions of Cross-Parking Easement & Recreation Agreement as set forth in Liber 817, Page 739. (THE EASEMENT DESCRIBED IN THIS DOCUMENT IS TO THE NORTHEAST OF THE SITE.)

PARCEL #70-14-21-300-064
6443 28TH AVE.
GEORGETOWN OFFICE CENTER
ZONED C-S



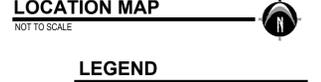
SURVEYOR'S NOTES

- Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260589, Map Number 26139C0263E, with an Effective Date of December 16, 2011, shows this parcel to be located in Zone X (Areas determined to be outside of the 0.2% annual chance floodplain.) No field surveying was performed to determine this zone.
- Utility locations are derived from actual measurements or available records. They should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in the area.
- NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.
- Vertical datum based on GPS observation.
- Only Parcel 1 of the referenced title commitment was included within the scope of this survey.

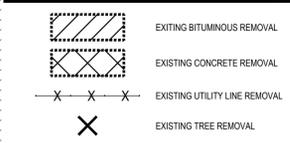
BENCHMARKS

BENCHMARK #1005 ELEV. = 627.26 (NAVD88)
Marker square on South side of light pole base. Located 276± East of the centerline of 28th Avenue & 156± North of the South line of strip mall.

BENCHMARK #1010 ELEV. = 626.20 (NAVD88)
Flange bolt under "CITY" on hydrant. Located 314± East of the centerline of 28th Avenue & 84± South of the South edge of asphalt entrance to strip mall.



REMOVAL LEGEND



REMOVAL / DEMOLITION NOTES

- THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED REPLACEMENT WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE TOWNSHIP AND BY THE OWNER, REPRESENTATIVES OF THE TOWNSHIP, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED MONTH/DAY/YEAR.
- ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.

REMOVAL / DEMOLITION NOTES

- SAWCUT, REMOVE/REPLACE EXISTING ASPHALT AS NECESSARY FOR NEW BUILDING/PARKING/DRIVES.
- REMOVE EXISTING TREES/SHRUBS AS NECESSARY.
- SAWCUT, REMOVE/REPLACE EXISTING ASPHALT AS NECESSARY FOR STORM SEWER CONNECTION. ABANDON EX. 1" WATER SERVICE AND TAP FROM EX. HYDRANT LEAD PER GEORGETOWN TOWNSHIP STANDARDS. (HYDRANT LEAD TO BE REAPPAID FOR NEW 2" DOMESTIC SERVICE FOR NEW BUILDING).
- REMOVE STRIPING AS NECESSARY.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

NEDERVELD
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800.222.1868
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217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR
CHICAGO
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HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
Gable Ventures, LLC
Attention: Ned Quinn

44 Grandville Avenue, SW, Suite 001
Grand Rapids, MI 49503
Phone: 616.774-4100

REVISIONS:

Title: Preliminary Site Plan	V. Date: 04/19/19
Drawn: SW	Checked: SW
Title: Site Plan Submittal	V. Date: 04/24/19
Drawn: SW	Checked: SW
Title: Site Plan Resubmittal	V. Date: 05/09/19
Drawn: SW	Checked: SW

**GEORGETOWN PLAZA
RETAIL OUTLOT**

Existing Conditions and Demolition Plan

6450 & 6498 28th Avenue
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T6N, R13W,
GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:

STATE OF MICHIGAN
STEVEN L. WITTE
ENGINEER
No. 46769
LICENSED PROFESSIONAL ENGINEER

PROJECT NO:
19200446

SHEET NO:
C-201

1 OF 5

GENERAL NOTES

- 1) ZONING OF SITE: CS = COMMUNITY SERVICE COMMERCIAL
CS ZONING REQUIREMENTS
MINIMUM LOT AREA = 11,050 SF
MINIMUM LOT WIDTH = 85 FT
MAXIMUM BUILDING HEIGHT = 35 FT
MAXIMUM LOT COVERAGE = NOT APPLICABLE
MINIMUM ALLOWED BUILDING SETBACKS:
FRONT YARD = 30 FT (FROM 60 FT FROM CENTERLINE OF ROADWAY)
(NO PARKING ALLOWED IN FRONT YARD SETBACK, EXCEPT FOR NECESSARY DRIVES)
SIDE YARD = 0 FT (25 FT ABUTTING RESIDENTIAL)
REAR YARD = 40 FT
- 2) SUMMARY OF LAND USE:
A) TOTAL ACREAGE = 4.68 ACRES (204,004 SF) (EXCLUDING R.O.W.)
EXISTING AREA OF 6450 28TH AVENUE = 4.36 ACRES (189,930 SF)
EXISTING AREA OF 6498 28TH AVENUE = 0.32 ACRES (14,074 SF, EXCLUDING R.O.W.)
PROPOSED AREA OF NEW/RECONFIGURED PARCEL = 32,380 SF (0.74 ACRES EXCLUDING R.O.W.)
B) AREA OF PROPOSED NEW BUILDING = APPROX. 3,020 SF
C) AREA OF EXISTING ON-SITE PAVEMENT/CONCRETE TO BE REMOVED = APPROX. 10,455 SF
D) AREA OF ADDED PAVEMENT/CONCRETE AFTER CONSTRUCTION = APPROXIMATELY 11,730 SF
E) TOTAL INCREASE OF HARD SURFACE AREA = APPROXIMATELY 4,295 SF
F) THE HEIGHT OF THE PROPOSED BUILDING IS APPROXIMATELY 25 FT.
G) ZONING OF SURROUNDING PARCELS: CS TO WEST, EAST, AND NORTH.
CITY OF HUDSONVILLE TO SOUTH.
- H) TO THE NORTH IS HUNTINGTON BANK
TO THE EAST IS A RETAIL STRIP CENTER.
TO THE SOUTH IS OAK TREE APARTMENTS.
TO THE SOUTHWEST IS CITY2SHORE REALTY.
TO THE NORTHWEST IS GEORGETOWN OFFICE CENTER
- I) THE BUILDING WILL BE USED FOR RETAIL, WITH A DRIVE THROUGH PROVIDED AS SHOWN.

- 3) PARKING REQUIREMENTS:
A) MINIMUM PARKING SPACE SIZE = 9' x 20' REQUIRED (24' TWO-WAY AISLES)
B) TYPICAL BARRIER-FREE SPACE = 8' x 20' (W/ 8 FT AISLES FOR VAN ACCESSIBLE)
C) TOTAL NUMBER OF SPACES REQUIRED = 28 (BASED ON 1 PER 75 SF DRIVE THRU)(21 SPACES)
AND 1 PER 200 SF RETAIL (8 SPACES)
D) NUMBER OF SPACES PROVIDED = 15 TO WEST, MANY MORE TO THE NORTH & EAST.
E) MINIMUM ALLOWED PARKING SETBACK: FRONT YARD = 30 FT (MEASURED FROM 60 FT FROM CL 28TH)
SIDE AND REAR YARDS = NOT APPLICABLE, OTHER THAN ABUTTING RESIDENTIAL = 25 FT.
- 4) ANY/ALL FUTURE SIGNS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF CHAPTER 25 OF THE GEORGETOWN TOWNSHIP ZONING ORDINANCE.
FREESTANDING SIGN (EITHER POLE OR GROUND-MOUNTED):
MAXIMUM AREA = 75 SF IF POLE SIGN; 50 SF IF GROUND SIGN
MAXIMUM HEIGHT = 25 FT IF POLE SIGN; 4 FT IF GROUND SIGN.
MINIMUM SETBACK = 15 FT
WALL SIGN:
MAXIMUM AREA = 1.5 SF/FT OF BUILDING WALL; MAX 200 SF

- 5) BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SILT FENCING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING.
- 6) UTILITIES SHOWN APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO EXACT LACATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- 7) THE CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND UTILITY LOCATIONS AND INVERTS AT START OF CONSTRUCTION.
- 8) ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES (CUT-OFF FIXTURES REQUIRED).
- 9) LANDSCAPING SHALL COMPLY WITH THE GEORGETOWN TOWNSHIP ZONING ORDINANCE.
- 10) THE PERMANENT PARCEL NUMBERS FOR THE SITE ARE 70-14-21-400-054 AND 70-14-21-400-055. THE PROPERTY ADDRESSES ARE 6495 AND 6498 28TH AVENUE, RESPECTIVELY.
- 11) THE SITE SOIL IS PRIMARILY BOYER LOAMY SAND, BASED ON THE USDA SOIL SURVEY MAP.
- 12) THE PROJECT WILL BE COMPLETED IN ONE PHASE.
- 13) THE SITE IS NOT LOCATED IN THE 100 YR FLOODPLAIN ACCORDING THE THE FLOODPLAIN MAPS.

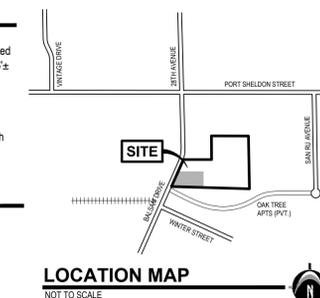
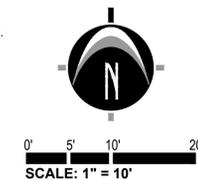
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LEGEND

- EXISTING BITUMINOUS
- EXISTING CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)
- PROPOSED BUILDING



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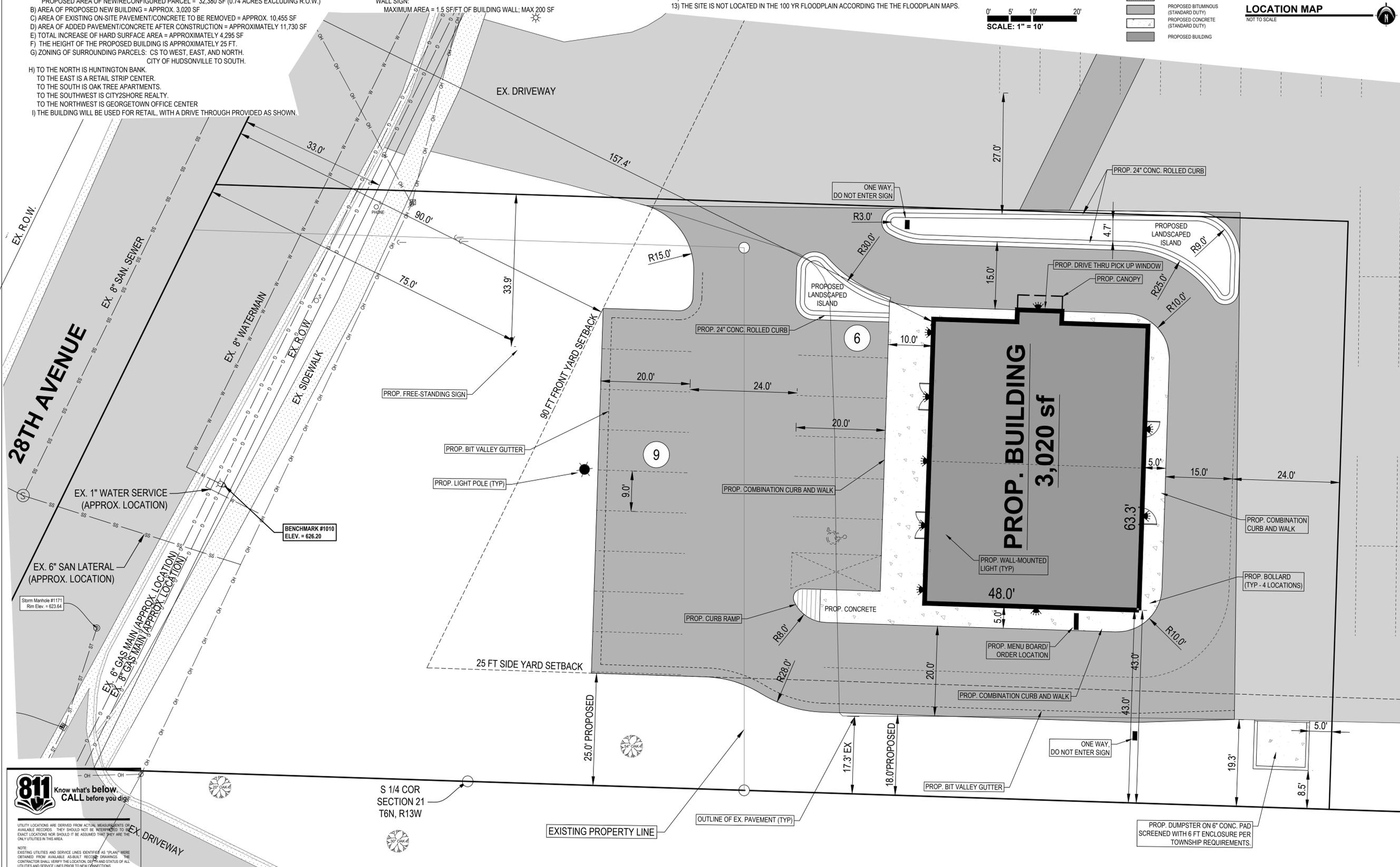
PREPARED FOR:

Gable Ventures, LLC
Attention: Ned Quinn

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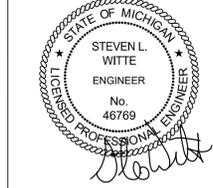
Title	Author	Checked	V. Date
Title: Preliminary Site Plan	SW	SW	04/19/19
Drawn: SW	SW	SW	04/19/19
Title: Site Plan Submittal	SW	SW	04/24/19
Drawn: SW	SW	SW	04/24/19
Title: Site Plan Resubmittal	SW	SW	05/09/19
Drawn: SW	SW	SW	05/09/19



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**GEORGETOWN PLAZA
RETAIL OUTLOT**
Site Layout Plan
6450 & 6498 28th Avenue
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T6N, R13W,
GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN

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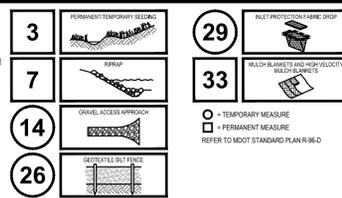


PROJECT NO:
19200446

SHEET NO:
C-205
2 OF 5

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.



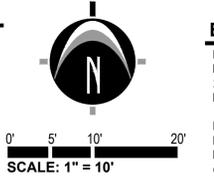
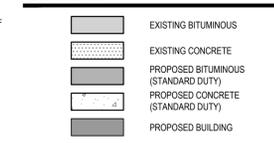
SOIL EROSION CONTROL SCHEDULE 2019

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PLACE SILT FENCE												
STRIP & STOCKPILE TOPSOIL												
CONSTRUCT CONNECTION TO STORM SEWER												
ROUGH GRADE SITE												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
CONSTRUCT UTILITY LINES TO BUILDING												
FINISH GRADE SITE												
PAVE SITE												
RESPREAD TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												

CONSTRUCTION NOTES

- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MOST CURRENT CONSTRUCTION AND MATERIALS SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE TOWNSHIP, WHERE CONTACTS OCCUR IN THE ABOVE, THE TOWNSHIP SHALL BE THE GOVERNING AUTHORITY.
- VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNSATISFACTORY SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWERAGE SYSTEM RESULTING FROM NON-COMFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
- ALL INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE TOWNSHIP AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
- ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE TOWNSHIP OR OWNER WITHOUT ANY ADDITIONAL COST TO THE TOWNSHIP OR OWNER.
- ALL LAWN AREAS REMOVED OR DISTURBED SHALL BE REPLACED WITH TOPSOIL AND SOIL WHERE NEEDED AND SHALL BE RESEEDING AND MULCHED IF SATISFACTORY RE-ESTABLISHMENT OF LAWN DOES NOT OCCUR.
- ALL POND LISTS AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE TOWNSHIP BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES.
- THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
- THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS THROUGH ROADS INCLUDING ROAD CLOSED SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC.
- THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY PINS AND BENCHMARKS.
- ALL WORK CONTINGENT SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE TOWNSHIP, OWNER AND THEIR REPRESENTATIVES. THE TOWNSHIP AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION ACTIVITY FOR NON-COMFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.
- PROVIDE BID PER FOOT FOR ALL PIPES IS COMPACTED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE POLICE DEPARTMENT AND THE TOWNSHIP.
- PRIOR TO ANY CONSTRUCTION OR GRADING, A PROTECTIVE BARRIER, FENCE, POST AND/OR SIGNS CLEARLY INDICATING LIMITS OF WORK/DISTURBANCE SHALL BE INSTALLED INDICATING NO TREE REMOVAL OR DISTURBANCES OUTSIDE LIMITS. THE TOWNSHIP AND OWNER SHALL BE CONTACTED UPON DETERMINATION OF LIMITS IN THE FIELD.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE TOWNSHIP AND THE OWNER.
- NO PARKING OF CONTRACTOR OR CONTRACTOR EMPLOYEE'S VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
- ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE TOWNSHIP AND THE OWNER.
- DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR ANTIMONIZED DUST-FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE TOWNSHIP, COUNTY, IDEO OR ANY OTHER GOVERNING AUTHORITY.
- ALL SEWERS, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS MUST BE CLEANED BEFORE ACCEPTANCE BY THE TOWNSHIP AND OWNER.
- IF MUD, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
- ADJUST TO GRADE OR RECONSTRUCT TO GRADE WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCKOUT PAVEMENT. DAMAGED PAVEMENT DOWELS OR OTHER SUCH LOAD TRANSFERS SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND THE ENGINEER.
- ALL EXISTING CURBS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED.
- COMPACTED PREMIUM BACKFILL (MOT CLASS II SAND) WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 50 FEET UNDER PAVEMENT PAVEMENT INCLUDES, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKEWAYS, DRIVEWAYS, SHOULDERS, BUILDINGS, ETC.
- NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
- STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING OPERATIONS, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.
- ALL TREES AND VEGETATION WITHIN THE GRADING LIMITS SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY AND SCOPE EXISTING SANITARY SEWER LATERAL TO CONFIRM ELEVATION, SLOPE, CONDITION AND PHYSICAL CONNECTION TO PUBLIC SANITARY SEWER MAIN PRIOR TO CONNECTION OF NEW LATERAL SERVICE.

LEGEND



BENCHMARKS

BENCHMARK #1005 ELEV. = 627.26 (NAVD88)
Marker square on South side of light pole base. Located 276 ± East of the centerline of 28th Avenue & 156 ± North of the South line of strip mall.

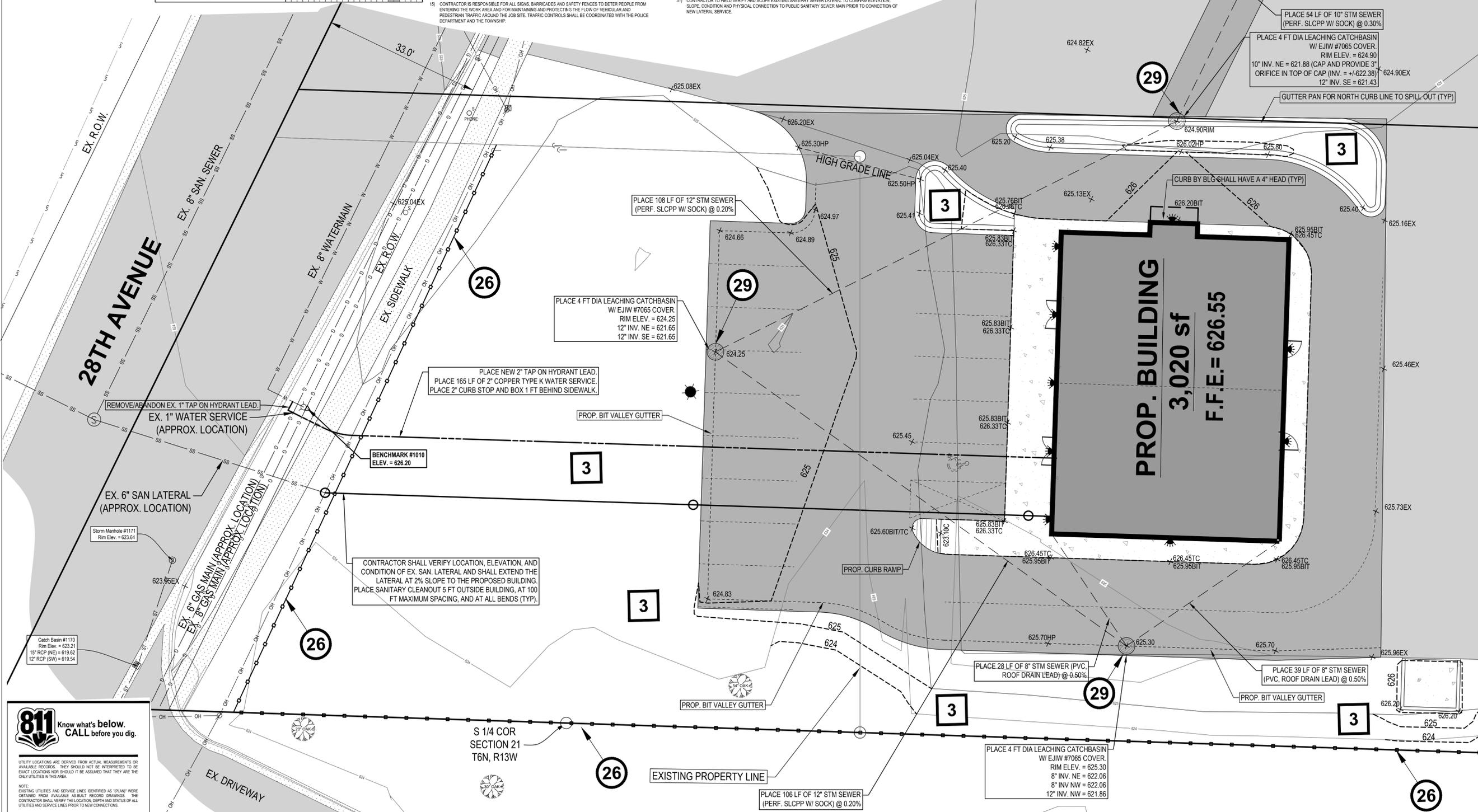
BENCHMARK #1010 ELEV. = 626.20 (NAVD88)
Flange bolt under "CITY" on hydrant. Located 31 ± East of the centerline of 28th Avenue & 84 ± South of the South edge of asphalt entrance to strip mall.

LOCATION MAP



UTILITY CONSTRUCTION NOTES

- ALL CATCH BASINS SHALL BE PROVIDED WITH A MINIMUM 2' SUMP.
- ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE (SLCPP) CONFORMING TO AASHTO M-252 AND M-294 OR ASTM C-76-8 CONCRETE PIPE.
- 6" UNDERDRAIN SHALL BE PERFORMED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-88 REQUIREMENTS.
- ALL CATCH BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS AND BOOT TYPE PIPE CONNECTED, CONFORMING TO ASTM C-923 ARE REQUIRED FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
- ALL WATER SERVICE AND SANITARY SEWER SERVICE CONSTRUCTION SHALL CONFORM TO GEORGETOWN TOWNSHIP STANDARD CONSTRUCTION SPECIFICATIONS.



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ST. LOUIS

PREPARED FOR:
Gable Ventures, LLC
Attention: Ned Quinn

44 Grandville Avenue, SW, Suite 001
Grand Rapids, MI 49503
Phone: 616.774-4100

REVISIONS:

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GEORGETOWN PLAZA RETAIL OUTLOT

Grading, Utility & SESC Plan

6450 & 6488 28th Avenue
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T6N, R13W,
GEORGETOWN TOWNSHIP, OTTAWA COUNTY, MICHIGAN

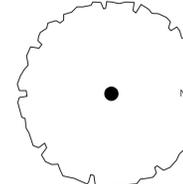
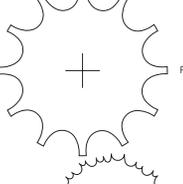
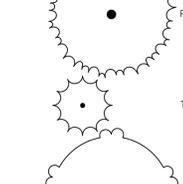
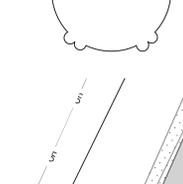
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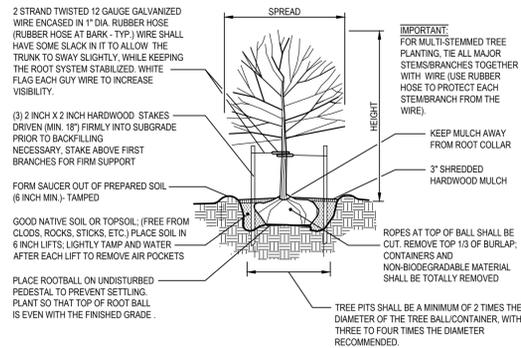
PROJECT NO:
19200446

SHEET NO:
C-300

3 OF 5

LANDSCAPE LEGEND / SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Ns	Nyssa sylvatica / Sour Gum	2.5' cal. min.	2
	Pa	Picea abies / Norway Spruce	6' hgt. avg.	2
	Pd	Picea glauca 'Densata' / Black Hills Spruce	6' hgt. avg.	5
	Tw	Thuja occidentalis 'Wintergreen' / Arborvitae	6' hgt. avg.	6
	Th	Tilia cordata 'Halka' / Summer Sprite Linden	2.5' cal. min.	4



LANDSCAPE NOTES

PLANTING NOTES:

- 1) ALL PLANT MATERIAL SHALL BE LOCALLY NURSERY GROWN NO 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. DO NOT PLANT MATERIALS UNLESS DIRECTED BY OWNER, LANDSCAPE ARCHITECT, AND/OR CONSTRUCTION MANAGER. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, FOR ANY REASON BEFORE OR AFTER IT IS INSTALLED.
- 2) SIZES SPECIFIED ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- 3) ANY PLANT SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- 4) MAINTENANCE OF LANDSCAPING ITEMS, TREES, AND PLANTS SHALL BE PERFORMED BY THE PROPERTY OWNER OR A QUALIFIED PROFESSIONAL. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE MUNICIPAL STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIALS ARE TO BE REPLACED IMMEDIATELY AFTER NOTIFIED TO DO SO.
- 5) PLANT TREES AND SHRUBS IN ACCORDANCE WITH PLANTING DETAILS. DIG TREE PITS PER DETAILS. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN AT THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROX. 1/4 OF THE ROOT BALL ABOVE GRADE, AND BACKFILL TO TOP OF ROOT BALL.
- 6) REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. REMOVE THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE BURLAP FROM AROUND TRUNK.
- 7) FINELY SHREDED HARDWOOD BARK MULCH (NATURAL COLOR NON-COLORED), IS REQUIRED FOR ALL PLANTINGS AND PLANTING BEDS. A WEED BARRIER IS TO BE USED IN ALL MULCHED AREAS. MULCH PER PLANTING DETAILS. ALL PLANTING BEDS SHALL BE 3" THICK AT TIME OF INSPECTION AND AFTER COMPACTED BY RAIN OR IRRIGATION. ALL PLANTING BEDS SHALL BE EDGED WITH 6" X 12 GAUGE STEEL LANDSCAPE EDGING.
- 8) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. IF A CONFLICT WITH UTILITIES EXISTS, NOTIFY OWNER/CONSTRUCTION MANAGER PRIOR TO PLANTING.
- 9) PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER PLANTING AND ACCEPTANCE.

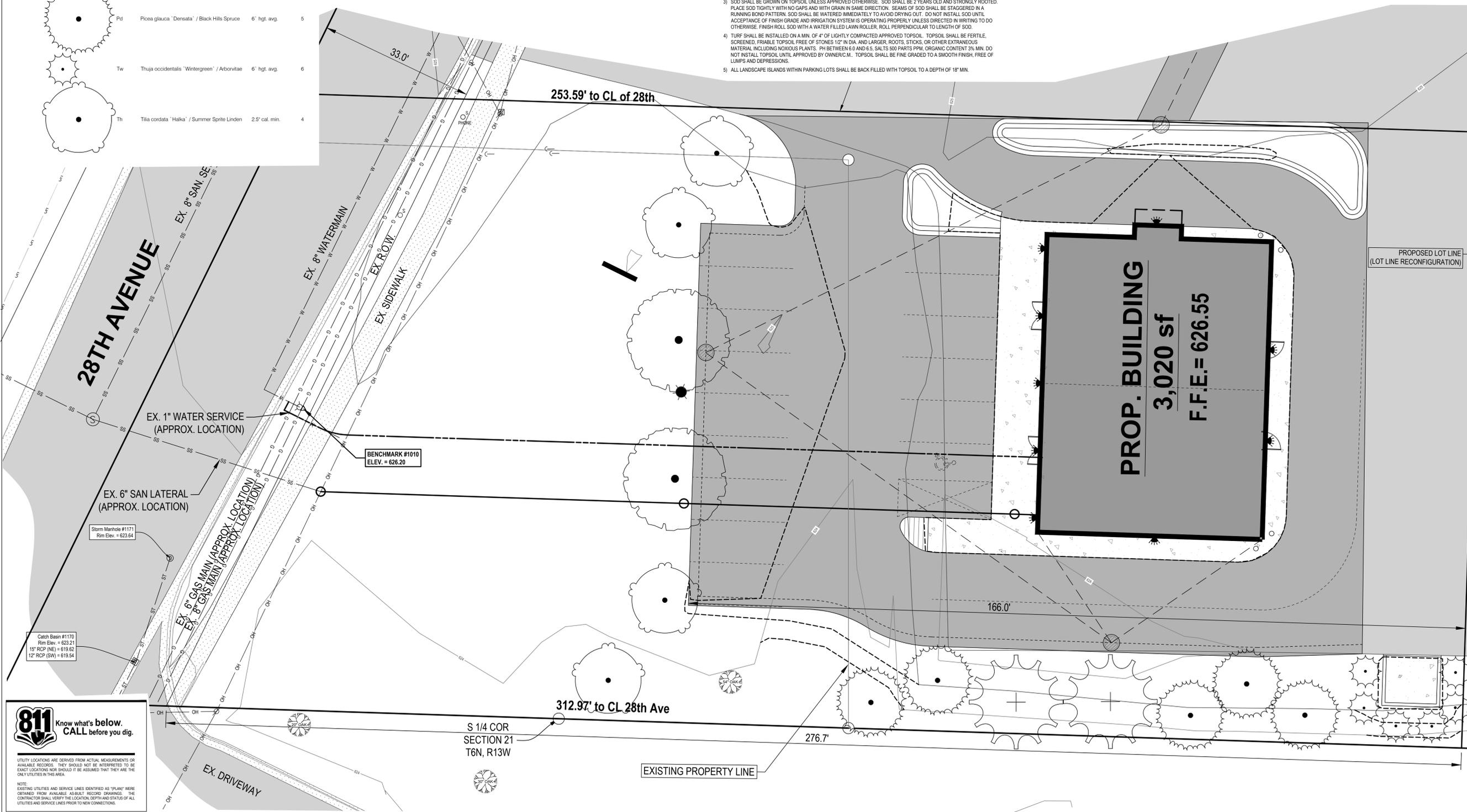
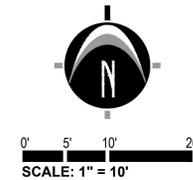
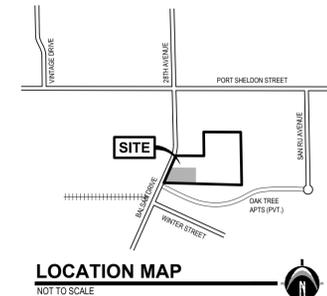
TOPSOIL AND TURF NOTES:

- 1) WHEREVER GROUND IN ITS NATURAL STATE HAS BEEN DISTURBED, APPROVED LANDSCAPING OR GRASS SHALL BE FULLY INSTALLED, AND ESTABLISHED WITHIN A REASONABLE PERIOD OF TIME, BUT NO LONGER THAN ONE GROWING SEASON (UNLESS OTHERWISE NOTED AND APPROVED).
- 2) DURING EXCAVATION, GRADING, AND INSTALLATION OF REQUIRED LANDSCAPING, ALL SOIL EROSION AND SEDIMENTATION CONTROL REGULATIONS SHALL BE STRICTLY FOLLOWED AND COMPLIED WITH.
- 3) ALL LAWN AREAS SHALL RECEIVE SOD OR HYDROSEED. TURF SHALL BE INSTALLED ON TOPSOIL UNLESS APPROVED OTHERWISE. DO NOT PLANT UNTIL ACCEPTANCE OF FINISH GRADE.
- 4) SOD SHALL BE GROWN ON TOPSOIL UNLESS APPROVED OTHERWISE. SOD SHALL BE 2 YEARS OLD AND STRONGLY ROOTED. PLACE SOD TIGHTLY WITH NO GAPS AND WITH GRAIN IN SAME DIRECTION. SEAMS OF SOD SHALL BE STAGGERED IN A RUNNING BOND PATTERN. SOD SHALL BE WATERED IMMEDIATELY TO AVOID DRYING OUT. DO NOT INSTALL SOD UNTIL ACCEPTANCE OF FINISH GRADE AND IRRIGATION SYSTEM IS OPERATING PROPERLY UNLESS DIRECTED IN WRITING TO DO OTHERWISE. FINISH ROLL SOD WITH A WATER FILLED LAWN ROLLER, ROLL PERPENDICULAR TO LENGTH OF SOD.
- 5) TURF SHALL BE INSTALLED ON A MIN. OF 4" OF LIGHTLY COMPACTED APPROVED TOPSOIL. TOPSOIL SHALL BE FERTILE, SCREENED, FRIABLE TOPSOIL FREE OF STONES 1/2" IN DIA. AND LARGER, ROOTS, STICKS, OR OTHER EXTRANEOUS MATERIAL, INCLUDING NOXIOUS PLANTS. PH BETWEEN 6.0 AND 6.5, SALTS 500 PARTS PPM, ORGANIC CONTENT 3% MIN. DO NOT INSTALL TOPSOIL UNTIL APPROVED BY OWNER/CM. TOPSOIL SHALL BE FINE GRADED TO A SMOOTH FINISH, FREE OF LUMPS AND DEPRESSIONS.
- 6) ALL LANDSCAPE ISLANDS WITHIN PARKING LOTS SHALL BE BACK FILLED WITH TOPSOIL TO A DEPTH OF 18" MIN.

LANDSCAPE REQUIREMENTS

TOTAL ROAD R.O.W. FRONTAGE (28TH AVENUE) = 132.6 LF
STREET TREES REQUIRED = 6 TREES (1 PER 25 FT)
PROPOSED STREET TREES = 6 TREES

GREENBELT TO THE SOUTH:
LENGTH OF PAVEMENT ALONG SOUTH PROPERTY LINE FROM THE SOUTHWEST CORNER OF THE NEW PARKING AREA TO THE PROPOSED EAST PROPERTY LINE = 166 FT
EVERGREEN TREES REQUIRED = 9 (1 PER 20 FT).
EVERGREEN TREES PROVIDED = 13



PREPARED FOR:

Gable Ventures, LLC
Attention: Ned Quinn

44 Grandville Avenue, SW, Suite 001
Grand Rapids, MI 49503
Phone: 616.774-4100

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Title: Preliminary Site Plan	SW	SW	04/19/19
Title: Site Plan Submittal	SW	SW	04/24/19
Title: Site Plan Resubmittal	SW	SW	05/09/19

**GEORGETOWN PLAZA
RETAIL OUTLOT**

Landscape Plan

6450 & 6488 28th Avenue
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L-201
4 OF 5



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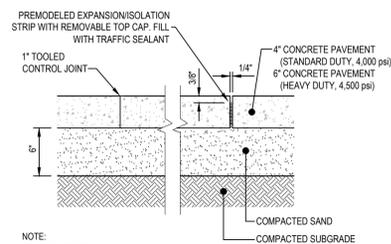
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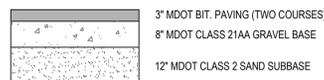
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Drawn: SW	Checked: SW
Title: Site Plan Submittal	V. Date: 04/24/19
Drawn: SW	Checked: SW
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Drawn: SW	Checked: SW



- NOTE:
1. LIGHT BROOM FINISH
 2. LOCATE CONTROL JOINTS AND EXPANSION JOINTS PER ACI STANDARDS
 3. PANEL SIZE SHALL NOT EXCEED 8 FEET
 4. PANELS SHALL BE KEPT AS SQUARE AS POSSIBLE WITH THE LENGTH NEVER EXCEEDING 1/20th THE WIDTH
 5. 1.0% C/U, YD. FIBER REINFORCEMENT
 6. AIR ENTRAPMENT - 6% ± 1%
 7. SLUMP 4" ± 1"

CONCRETE PAVEMENT DETAIL

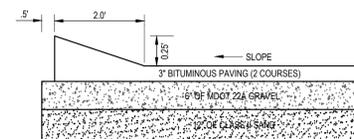
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- NOTE:
1. REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT DESIGN SPECIFICATION
 2. NO RECYCLED ASPHALT PRODUCT ALLOWED IN ANY WEARING COURSE.

STANDARD DUTY PAVEMENT CROSS SECTION

N.T.S.



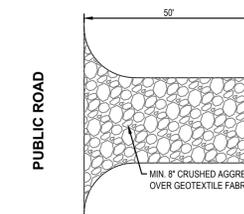
TYPICAL BITUMINOUS VALLEY GUTTER DETAIL

N.T.S.



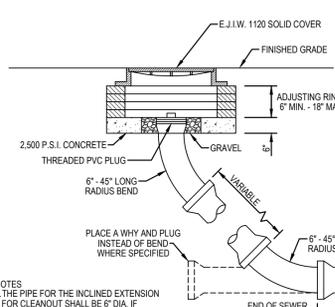
LOCATION MAP

NOT TO SCALE



TEMPORARY CRUSHED ROCK TRACKING PAD

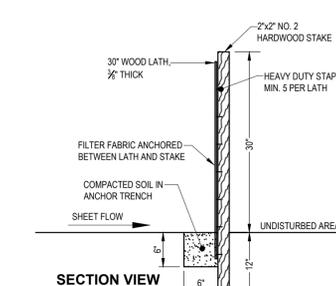
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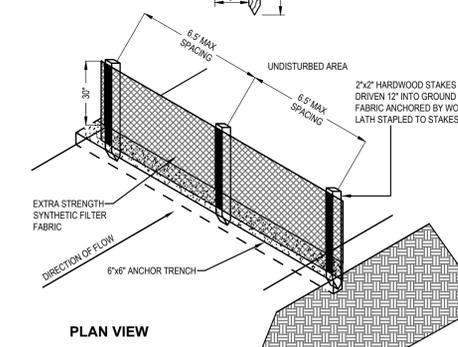
- NOTES:
1. THE PIPE FOR THE INCLINED EXTENSION FOR CLEANOUT SHALL BE 6" DIA. IF SEWER IS LARGER THAN 6", THEN A REDUCER SHALL BE PLACED BETWEEN END OF SEWER AND LONG RADIUS BEND.
 2. JOINTS SHALL BE SAME AS SPECIFIED FOR SEWER CONSTRUCTION

SEWER CLEANOUT DETAIL

N.T.S.



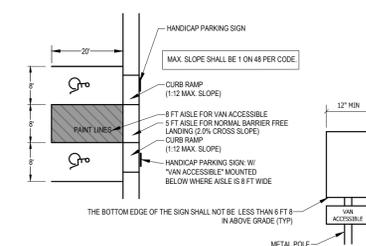
SECTION VIEW



PLAN VIEW

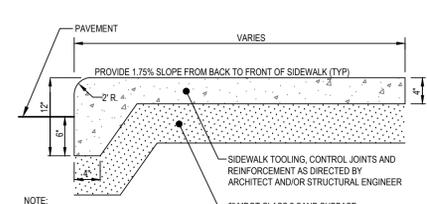
SILT FENCE DETAIL

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TYPICAL BARRIER FREE ACCESSIBLE PARKING SPACES

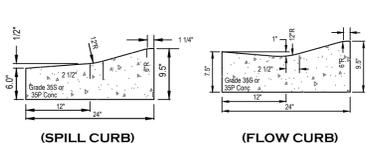
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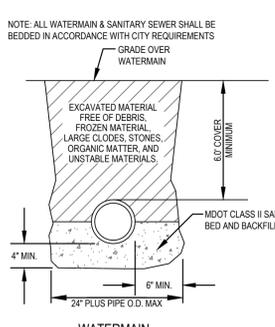
INTEGRAL CURB AND WALK

N.T.S.



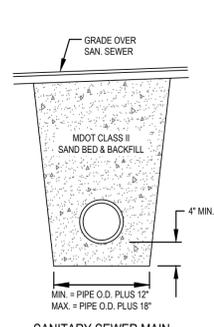
24" CONCRETE ROLLED CURB DETAIL

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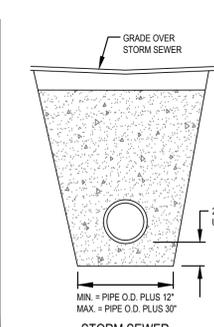


TYPICAL UTILITY TRENCH AND BACKFILL DETAILS

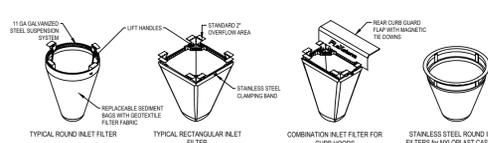
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SANITARY SEWER MAIN



STORM SEWER



- NOTES:
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ENCL PLATED OR GALVANIZED) FOR 7 YEAR MINIMUM SERVICE LIFE.
 2. UPON ORDERING CONFIRMATION OF THE 500' GULLY CUT, PRECAST OR CASTING MANS AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
 3. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTER.COM

SPECIFICATIONS FOR STANDARD BAGS BY NOMINAL SIZE

NORMAL BAG SIZE	SOLIDS STORAGE (GAL)	FX (DRAIN)	FX (DRAIN)	FX (DRAIN)	FX (DRAIN)
SMALL	1.0	1.2	1.30	1.30	1.30
MEDIUM	2.10	1.70	1.80	1.80	1.80
LARGE	3.80	2.70	2.70	2.70	2.70
XL	4.20	3.60	3.60	3.60	3.60

FLEXSTORM INLET FILTER DETAIL

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5 OF 5

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