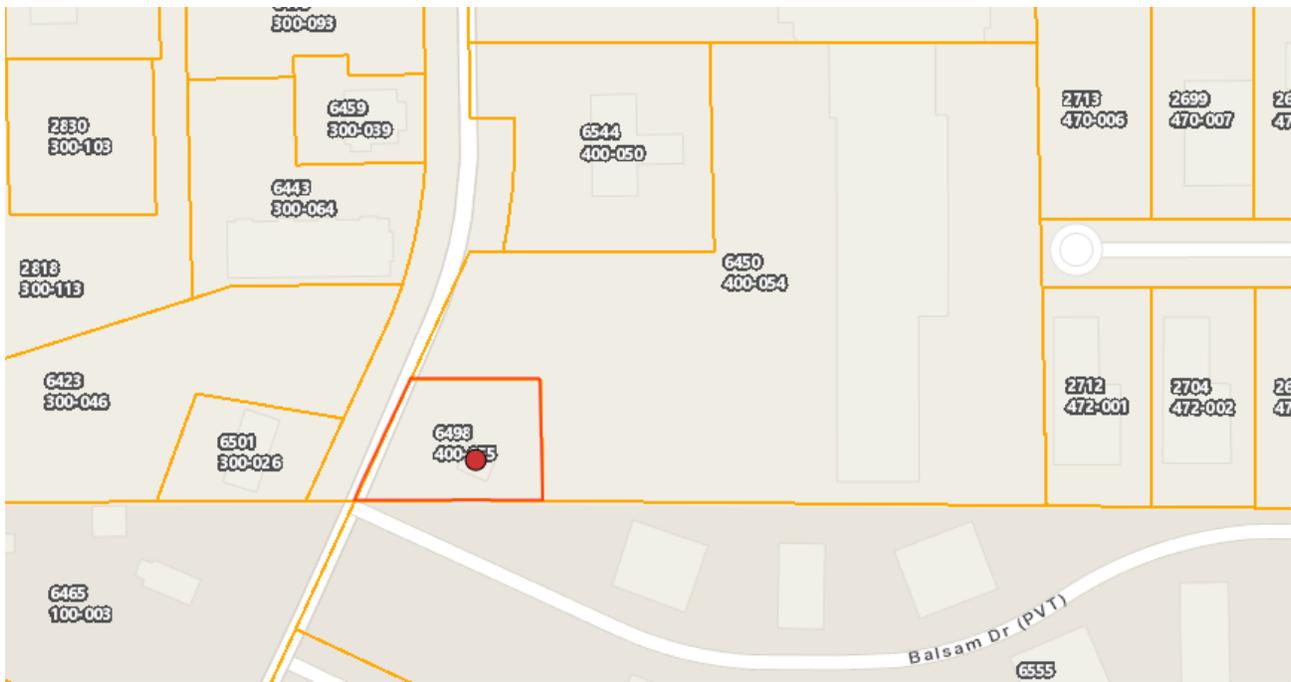


REQUEST – Second Review May 13, 2019

(ST1910) Gable Ventures (Georgetown Plaza), 6450 28th Ave. and 6498 Balsam Dr., is requesting site plan approval to construct a 3,020 square foot building for the use of retail and a drive-in restaurant, in a (CS) Neighborhood Service Commercial district, allowed by right under Sec. 154.2(H), located at 6450 28th Ave. and 6498 Balsam Dr., P.P. # 70-14-21-400-054 and -055. The proposal includes a property line adjustment to increase the size of the parcel.





SUMMARY

a. Setbacks and greenbelt requirements are as follows:

Front – 30 feet from a point 60 feet (total 90 feet) from the centerline of 28th Ave. As per footnote (1), the first 30 feet shall be landscaping and not used for parking. **The 90 foot front yard setback from the centerline for parking and structures is met.**

Sides – 0 on the northern side. **Met.**

25 feet on the southern side.

Footnote (M) is applicable (see below) for all yards that abut a residential district and requires a minimum 25 foot greenbelt as per the stipulations in Sec. 3.11. One evergreen is required for each 20 foot of length or fraction thereof. All evergreens are required to be a minimum of 5 feet tall at the time of planting. **The 166 foot distance requires 9 trees within the 25/18 foot rear yard greenbelt. Type, number, and size meet ordinance requirements. Met.**

The 25 foot setback is met for the newly added asphalt. The 18 foot setback currently exists for the existing asphalt and is nonconforming. As per the applicant, this asphalt will remain and will not be replaced. Therefore, it is legal nonconforming and may remain.

Rear – 40 feet required. **Met.**

Footnotes:

Chapter 24 footnote (L). For all uses in the residential districts, and in the OS, NS and CS commercial districts, except for necessary drives and walks the required front yard setback shall be landscaped and shall not be used for parking (other than for single and two family dwellings), loading, or accessory structures.

Chapter 24 footnote (M). Where a side and/or rear yard abuts a Residential District, there shall be a minimum yard of not less than twenty five (25) feet, exclusive of parking and drives. Such yard shall contain a greenbelt which meets the minimum standards of Sec. 3.11.

- b. **One way signage is shown for the southern aisle for vehicles to order at the menu board and then to proceed around the building to the drive-in window.**
- c. **Sidewalks were provided.**
- d. **A note was added to the plan stating that all signs shall meet ordinance requirements. A note states that all lights shall be downward directing.**
- e. As per calculations for parking:
 - a) 1460 square feet to be used for the drive-in restaurant, 20 parking spaces are required ($1460/75 = 20$ spaces).
 - b) 1600 square feet to be used for retail, 8 parking spaces are required ($1600/200 = 8$ spaces).

A total of 28 spaces are required and 15 are provided. Submit a document providing the number of spaces required for the adjacent site (list all uses, square footage and calculation of required parking spaces in order to provide evidence that additional spaces are available for the subject site to use). Submit a legal document showing that the subject site has the right to use the additional parking spaces on the adjacent site. This documentation shall be provided at the time a building permit application is submitted.

- f. **Provide the dumpster enclosure material on a separate sheet.**
- g. **Coordinate utilities with the Georgetown Township DPW.**
- h. **A Storm Water Drain permit (written approval from the Water Resources-Drain Commissioner's Office) is required to be submitted at the time a building permit application is submitted.**
- i. **Approval of the site plan does not imply approval of the property line adjustment. A complete application and fee for a property line adjustment shall be submitted to the Township and reviewed for compliance with ordinances at the time. Approval from the Township will be issued only if the proposal complies with all ordinances and approval shall be obtained prior to the submission of a building permit application.**

APPROVAL

The site plan is approved for (ST1910) Gable Ventures (Georgetown Plaza), 6450 28th Ave. and 6498 Balsam Dr., to construct a 3,020 square foot building for the use of retail (1600 SF) and a drive-in restaurant (1460 SF), in a (CS) Neighborhood Service Commercial district, allowed by right under Sec. 15.2(H) and 14.2(B), located at 6450 28th Ave. and 6498 Balsam Dr., P.P. # 70-14-21-400-054 and -055, as shown on the site plan package dated 05/09/19, based on the findings that all applicable standards of the ordinance have been met, and with the following conditions:

1. One-way signage shall be provided for vehicles using the menu board and drive-in window.
2. Approved sign permits shall be obtained prior to any sign construction and all signs must meet ordinance standards.
3. Utilities shall be coordinated with the DPW.
4. The following shall be provided to the Township prior to the submission of a building permit application:
 - a. A Storm Water Drain Permit (written permission from the Drain Commissioner's office).
 - b. A total of 28 parking spaces are required and 15 are provided. Submit a document providing the number of spaces required for the adjacent site (list all uses, square footage and calculation of required parking spaces in order to provide evidence that additional spaces are available for the subject site to use). Submit a legal document showing that the subject site has the right to use the additional parking spaces on the adjacent site.
 - c. Provide the dumpster enclosure material on a separate sheet.
 - d. A property line adjustment application shall be submitted with all associated fees and documentation. Approval shall be obtained for any property line adjustment prior to the submission of a building permit application. Approval of the site plan does not imply approval of the property line adjustment.

ID number	ST1910	Date 5/13/2019 2 nd review	
Name	Georgetown Plaza		
Address	6450 28 th Ave. 6498 Balsam Dr.		
Use	New building/restaurant	SUP required	No. Allowed Sec. 14.2(B)&(G)

REQUIREMENT	PROVIDED	Needs or Comments
Date, north arrow, scale	X	
Name, address of preparer	X	
Name, address of property owner or petitioner	X	
Location sketch	X	
Legal description	X	
Size in acres of the property	X	
Property lines and required setbacks shown and dimensioned		a. Meets-ad
Location of existing structures, drives, parking areas within 100 ft of boundary	X	
Location and dimensions of existing and proposed structures	X	
Location of existing and proposed drives (dimensions and radii), circulation		b. One way
Sidewalks, non-motorized paths- select streets, accel, decel lanes	X	c. provided
Signs, exterior lighting	X	d. provided
Curbing, parking areas, dimensions of typical space, number of parking spaces		e. provide
Calculations of parking spaces, unloading areas		provide
Location, pavement width, ROW of all abutting roads, easements	X	
Existing zoning, and zoning and use of abutting property	X	
Location of existing vegetation- parkway association	X	
Location, type, size of proposed landscaping, streetscape, greenbelt	X	
Location, height, type of existing and proposed fences and walls		f. provide
Size, location of proposed, existing utilities, connections to water/sewer	X	g. coordinate
Location, size of surface water drainage facilities		h. Storm Permit
Existing, proposed topo contours, max 5 ft intervals	X	
Rec/common areas, floodplain areas	X	
Special Use Standards, general and specific	NA	
Residential development extra requirements-attached garages	NA	